

## Residential Carport Permit Submittal Checklist

Applications for construction of **Carports** are reviewed by the Building and Inspection Services Division and Planning Division for compliance with applicable ordinances and design criteria and are required to be approved by these entities prior to issuance of a building permit. The following list of documents or information is required at the time of submission of application for permit:

- Completed City of Wheat Ridge **Permit Application** form containing the following:
  - - Property owner name, address and contact information
    - Contractor and subcontractor information (*A contractor currently licensed with the City of Wheat Ridge, possessing a minimum Class 3 license, is required at the time of submission unless all work is performed by the property owner and that owner resides at the property currently and for a minimum of year from the date of completion of the project*)
    - Detailed description of work to be performed
    - Contract value of all work to be performed
    - Printed name and signature of individual submitting application
- A copy of the **Property Deed** or other document(s) verifying residency/ownership *may* be required prior to acceptance of an application or issuance of a permit
- An **Improvement Location Certificate (ILC)** or an **Improvement Survey Plat (ISP)** or a **Site Plan** as described below
- Two (2) sets of minimum **11" x 17" construction plans\*** containing:
  - **Site Plan** – must be “to scale” and be an accurate depiction of the site based on available survey information including scale, north arrow, property line locations, identification of streets and alleys, and all existing and proposed improvements including structures, fences, etc. Site plan should also depict means of access to structure and materials used to construct that access
  - **Architectural Elevations** - must be “to scale” and accurately depict all proposed elevations including materials to be used and measurements to top of ridge and midpoint of roof
  - **City of Wheat Ridge Carport Building Guide** or **Structural plan(s)** which provide information related to foundation/anchoring system, framing, and any miscellaneous structural components
  - **Detail drawings** of systems and components (i.e. plumbing, electrical, etc.) as necessary to facilitate review

**\*\*Carports are required to be open on at least two sides. Carports that are not open on at least two sides are classified as garages and are subject to compliance with all requirements for garages.\*\***

**\*\*APPLICATIONS THAT ARE INCOMPLETE OR LACKING SUBMITTAL DOCUMENTS WILL NOT BE ACCEPTED BY THE BUILDING DIVISION.\*\***



**Building & Inspection Services Division**  
7500 W. 29<sup>th</sup> Ave., Wheat Ridge, CO 80033  
Office: 303-235-2855 \* Fax: 303-237-8929  
Inspection Line: 303-234-5933  
Email: [permits@ci.wheatridge.co.us](mailto:permits@ci.wheatridge.co.us)

**FOR OFFICE USE ONLY**

Date:

Plan/Permit #

Plan Review Fee:

## Building Permit Application

\*\*\* Please complete all highlighted areas on both sides of this form. Incomplete applications may not be processed. \*\*\*

**Property Address:** \_\_\_\_\_

**Property Owner** (please print): \_\_\_\_\_ **Phone:** \_\_\_\_\_

**Property Owner Email:** \_\_\_\_\_

**Mailing Address:** (if different than property address)

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

**Architect/Engineer:** \_\_\_\_\_

**Architect/Engineer E-mail:** \_\_\_\_\_ **Phone:** \_\_\_\_\_

**Contractor:** \_\_\_\_\_

**Contractors City License #:** \_\_\_\_\_ **Phone:** \_\_\_\_\_

**Contractor E-mail Address:** \_\_\_\_\_

**Sub Contractors:**

Electrical:

W.R. City License #

Plumbing:

W.R. City License #

Mechanical:

W.R. City License #

Other City Licensed Sub:  
City License #

Other City Licensed Sub:  
City License #

**Complete all information on BOTH sides of this form**

COMMERCIAL

RESIDENTIAL

**Description of work:** (Check all that apply)

- NEW COMMERCIAL STRUCTURE
- NEW RESIDENTIAL STRUCTURE
- COMMERCIAL ADDITION
- RESIDENTIAL ADDITION
- COMMERCIAL ACCESSORY STRUCTURE (Garage, shed, deck, etc.)
- RESIDENTIAL ACCESSORY STRUCTURE (Garage, shed, deck, etc.)
- MECHANICAL SYSTEM/APPLIANCE REPAIR or REPLACEMENT
- PLUMBING SYSTEM/APPLIANCE REPAIR or REPLACEMENT
- ELECTRICAL SYSTEM/APPLIANCE REPAIR or REPLACEMENT
- OTHER (Describe)
- ELECTRICAL SERVICE UPGRADE
- COMMERCIAL ROOFING
- RESIDENTIAL ROOFING
- WINDOW REPLACEMENT

(For ALL projects, please provide a **detailed** description of work to be performed, including current use of areas, proposed uses, square footage, existing condition and proposed new condition, appliance size and efficiency, type and amount of materials to be used, etc.)

Sq. Ft./LF \_\_\_\_\_ Btu's \_\_\_\_\_ Gallons \_\_\_\_\_  
 Amps \_\_\_\_\_ Squares \_\_\_\_\_ Other \_\_\_\_\_

**Project Value:** (Contract value or the cost of **all** materials and labor included in the **entire** project)

\$ \_\_\_\_\_

**OWNER/CONTRACTOR SIGNATURE OF UNDERSTANDING AND AGREEMENT**

I hereby certify that the setback distances proposed by this permit application are accurate and do not violate applicable ordinances, rules or regulations of the City of Wheat Ridge or covenants, easements or restrictions of record; that all measurements shown and allegations made are accurate; that I have read and agree to abide by all conditions printed on this application and that I assume full responsibility for compliance with applicable City of Wheat Ridge codes and ordinances for work under any permit issued based on this application; that I am the legal owner or have been authorized by the legal owner of the property to perform the described work and am also authorized by the legal owner of any entity included on this application to list that entity on this application.

**CIRCLE ONE:** (OWNER) (CONTRACTOR) or (AUTHORIZED REPRESENTATIVE) of (OWNER) (CONTRACTOR)

**PRINT NAME:** \_\_\_\_\_ **SIGNATURE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**DEPARTMENT USE ONLY**

ZONING COMMENTS:  
Reviewer: \_\_\_\_\_

OCCUPANCY CLASSIFICATION: \_\_\_\_\_

TYPE OF CONSTRUCTION: \_\_\_\_\_

SPRINKLERED: \_\_\_\_\_

BUILDING DEPARTMENT COMMENTS:  
Reviewer: \_\_\_\_\_

OCCUPANT LOAD: \_\_\_\_\_

PUBLIC WORKS COMMENTS:  
Reviewer: \_\_\_\_\_

**PROOF OF SUBMISSION FORMS**

- Fire Department  Received  Not Required
- Water District  Received  Not Required
- Sanitation District  Received  Not Required

**Building Division Valuation: \$** \_\_\_\_\_



# Building Guide

Colorado Chapter of the International Code Council

## Single Family Residential Patio Covers & Carports

### How to Use this Guide

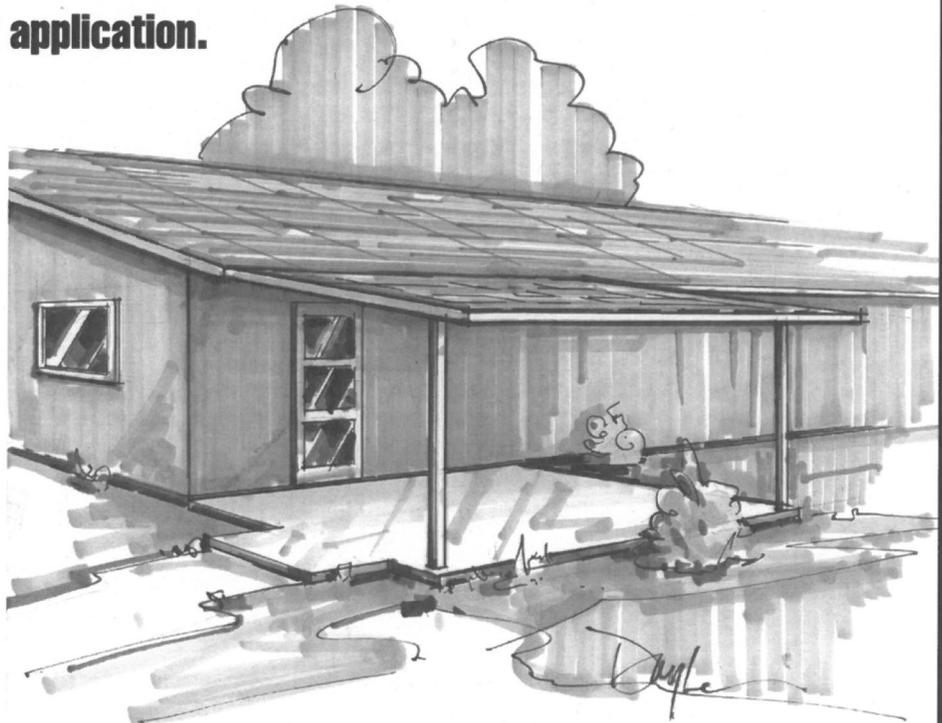
Provide two sets of plans, drawn to scale and complete the following (*hint: use graph paper with 1/4" squares. Example: 1/4" = 1'*): Check with your jurisdiction for additional requirements.

**1 Complete this Building Guide** by filling in the blanks on page two, and indicating which construction details will be used.

**2 Provide 2 Plot Plans** (site plan) showing dimensions of your project or addition and its relationship to existing buildings or structures on the property and the distance to existing property lines drawn to scale. See Page 2

### 3 Fill out a building permit application.

The majority of permit applications are processed with little delay. The submitted documents will help determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.



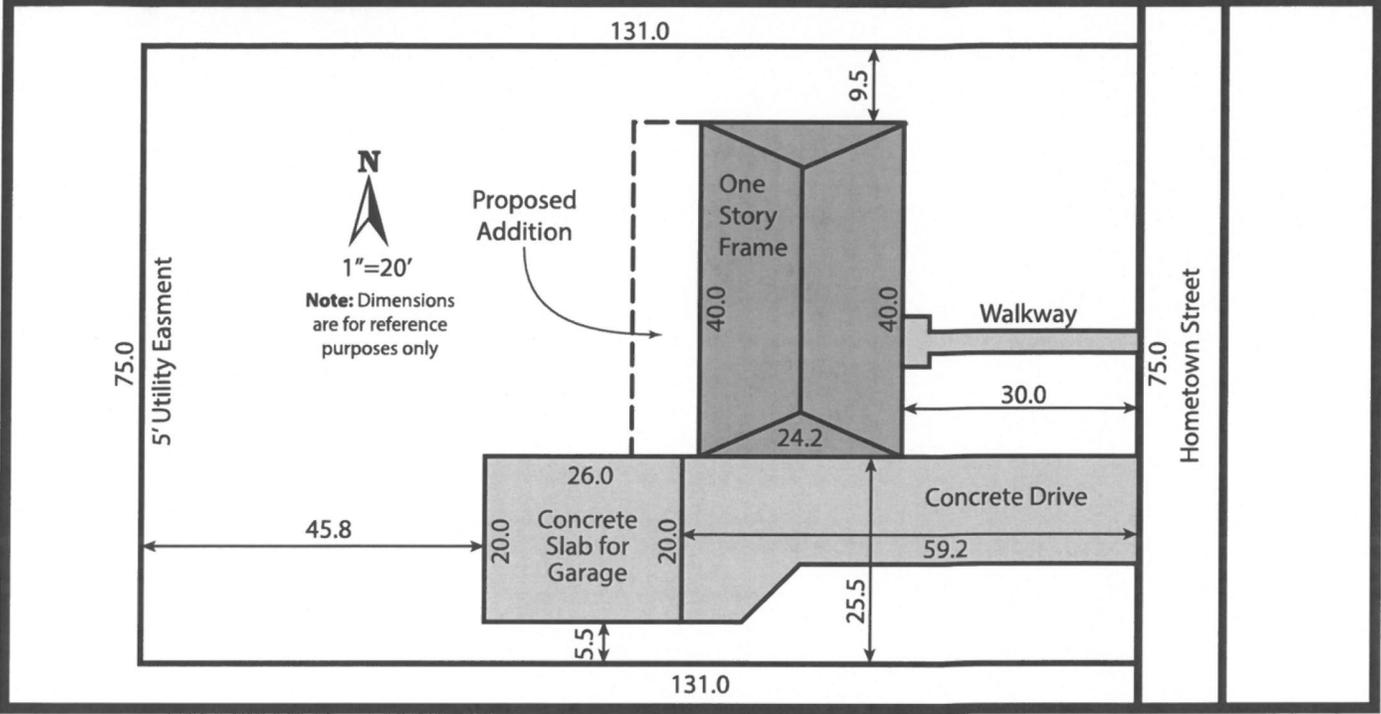
The Colorado Chapter of the International Code Council is a professional organization seeking to promote the public health, safety and welfare to building construction. We appreciate your feedback and suggestions. To obtain a master copy of this building guide, please write to the Colorado Chapter of the International Code Council, P.O. Box 961, Arvada, CO 80001.

<http://www.coloradochaptericc.org>

This handout was developed by the Colorado Chapter of the International Code Council as a basic plan submittal under the 2012 International Residential Code. It is not intended to cover all circumstances. Check with your Department of Building Safety for additional requirements.

# Single Family Residential Patio Covers & Carports

## Site Plan Example



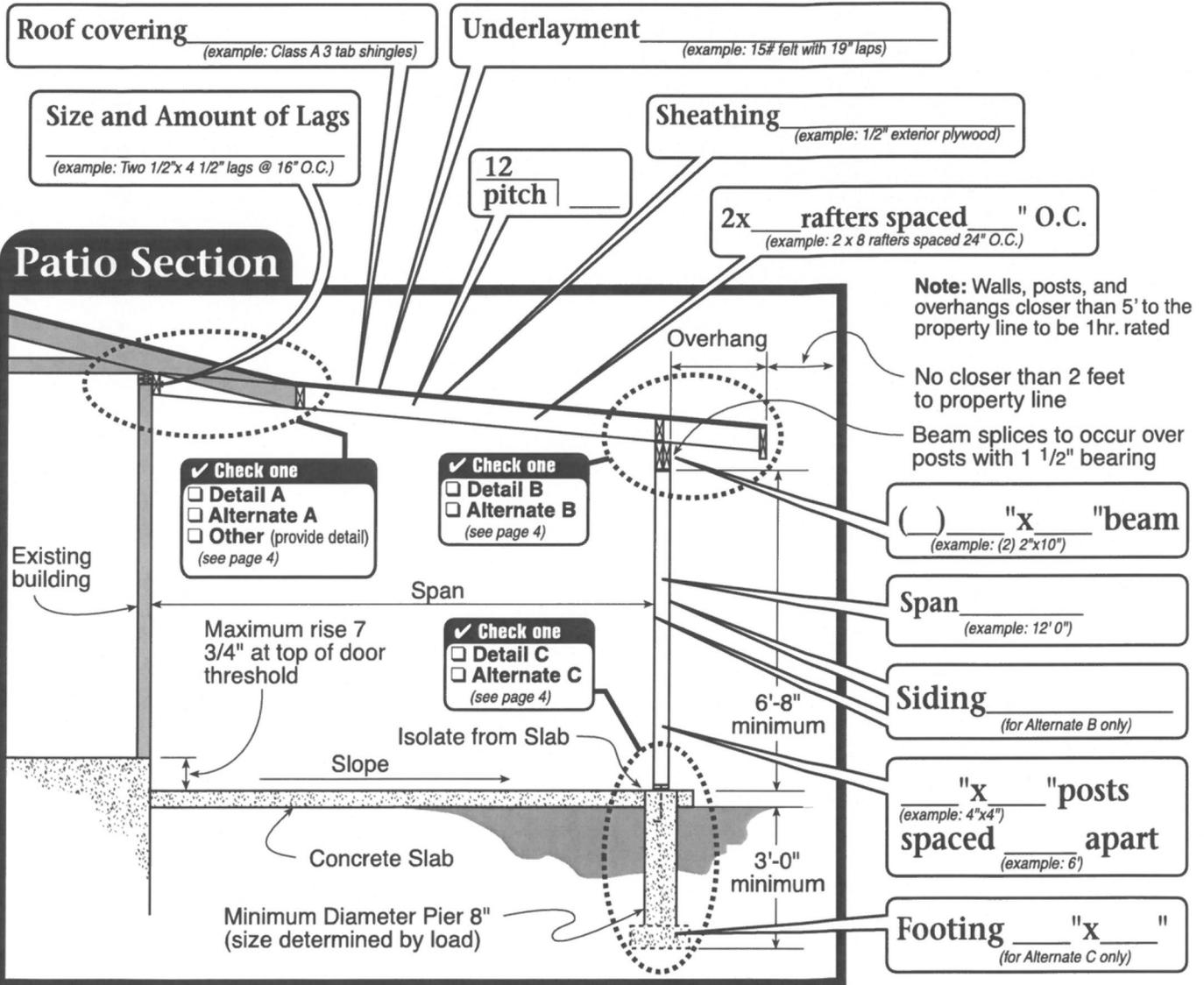
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# Single Family Residential Patio Covers & Carports

## Directions

Address: \_\_\_\_\_

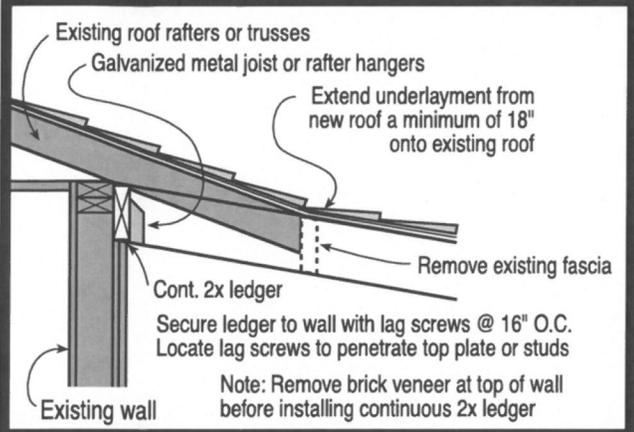
1. Fill in the blanks with dimensions and materials which will be used to build the structure. Please print legibly.
2. Indicate in the check boxes which details from page 4 will be used. Please note if any of the sides of your carport addition are closer than 5'-0" to the property line, that side of the carport must be enclosed with a solid 1 hour fire rated wall as shown in Alternate Details B and C. You must however, keep at least two sides of the carport open to conform to the building code requirements. Zoning approval is required.
3. Roofing to be installed per manufacturer's instructions, including low slope application and required inspections made.



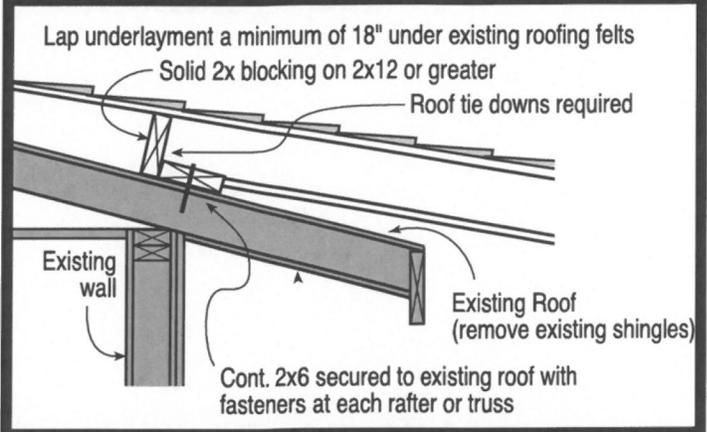
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# Single Family Residential Patio Covers & Carports

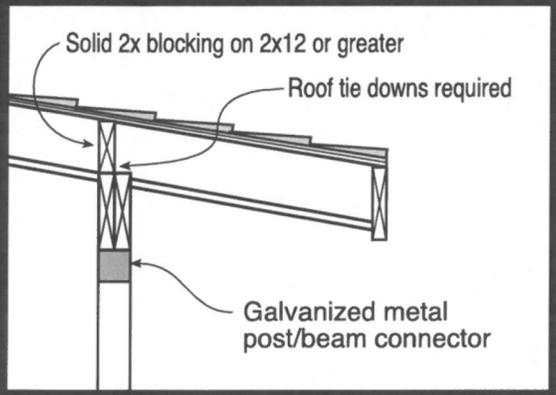
## Detail A



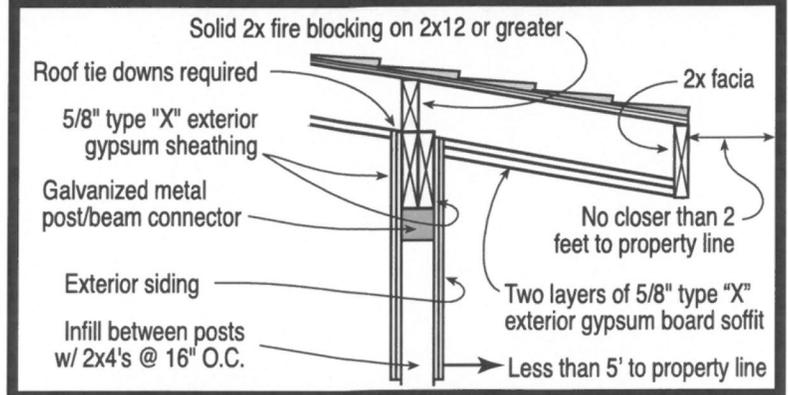
## Alternate Detail A



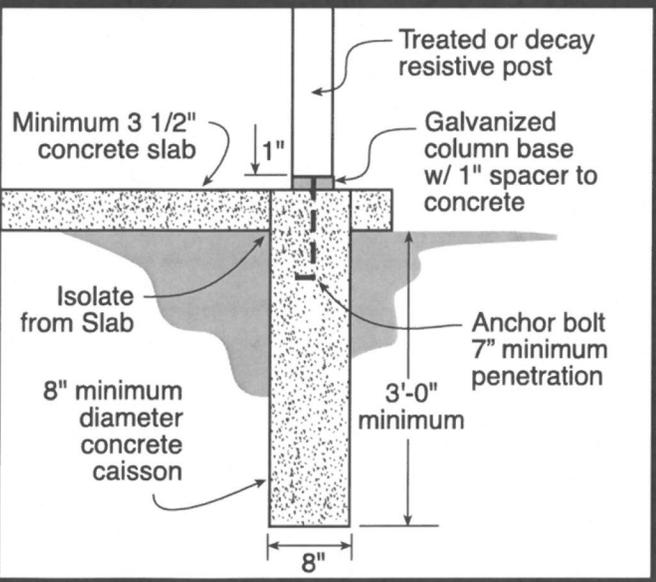
## Detail B



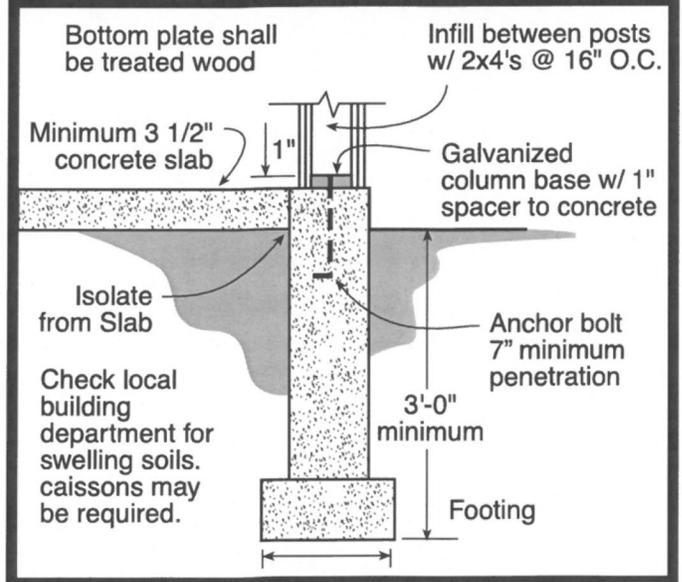
## Alternate Detail B - 1 Hour Wall



## Detail C



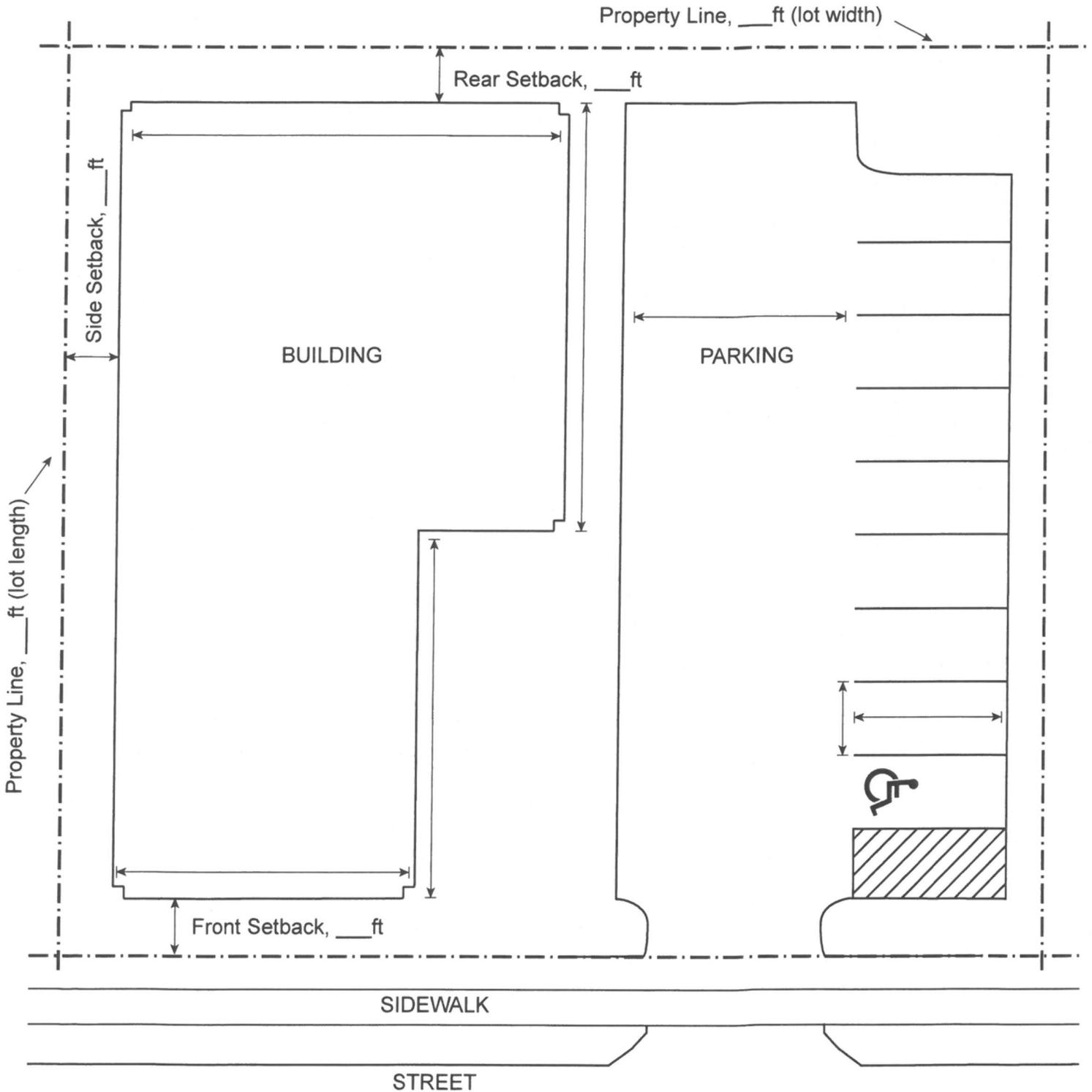
## Alternate Detail C - 1 Hour Wall



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# Sample Site Plan

Please note that additional information is often required for a commercial site plan. To speak with a planner about a specific project and site plan requirements, contact the Community Development Department at 303-235-2846.



## Sample Project Information

Lot Area: \_\_\_ sq ft  
 Landscape Area: \_\_\_ sq ft  
 Existing Building: \_\_\_ sq ft

Proposed Building: \_\_\_ sq ft  
 Parking Spaces: \_\_\_ spaces



Scale:  
 1" = \_\_\_ ft