

Residential Deck Permit Submittal Checklist

Applications for construction of **Residential Decks** are reviewed by the Building and Inspection Services Division and Planning Division for compliance with applicable ordinances and design criteria and are required to be approved by these entities prior to issuance of a building permit. The following list of documents or information is required at the time of submission of application for permit:

- Completed City of Wheat Ridge **Permit Application** form containing the following:
 - Property owner name, address and contact information
 - Contractor and subcontractor information (*A contractor currently licensed with the City of Wheat Ridge, possessing a minimum Class 3 license, is required at the time of submission unless all work is performed by the property owner and that owner resides at the property currently and for a minimum of year from the date of completion of the project*)
 - Detailed description of work to be performed
 - Contract value of all work to be performed
 - Printed name and signature of individual submitting application
- A copy of the **Property Deed** or other document(s) verifying residency/ownership *may* be required prior to acceptance of an application or issuance of a permit
- An **Improvement Location Certificate (ILC)** *or* an **Improvement Survey Plat (ISP)** *or* a **Site Plan** as described below
- Two (2) sets of minimum **8-1/2" x 11" construction plans** containing:
 - ***Site Plan*** – must be “to scale” and be an accurate depiction of the site based on available survey information including scale, north arrow, property line locations, identification of streets and alleys, an all existing and proposed improvements including structures, fences, etc.
 - ***City of Wheat Ridge Residential Deck Building Guide*** *or* ***Structural plan(s)*** for foundation system, framing, and any miscellaneous structural components
 - ***Detailed drawings*** of systems and components (stairs, railings, guards, etc.) as necessary to facilitate review

****APPLICATIONS THAT ARE INCOMPLETE OR LACKING SUBMITTAL DOCUMENTS WILL NOT BE ACCEPTED BY THE BUILDING DIVISION.****



Building & Inspection Services Division
 7500 W. 29th Ave., Wheat Ridge, CO 80033
 Office: 303-235-2855 * Fax: 303-237-8929
 Inspection Line: 303-234-5933
 Email: permits@ci.wheatridge.co.us

FOR OFFICE USE ONLY

Date:

Plan/Permit #

Plan Review Fee:

Building Permit Application

*** Please complete all highlighted areas on both sides of this form. Incomplete applications may not be processed. ***

Property Address: _____

Property Owner (please print): _____ **Phone:** _____

Property Owner Email: _____

Mailing Address: (if different than property address)

Address: _____

City, State, Zip: _____

Architect/Engineer: _____

Architect/Engineer E-mail: _____ **Phone:** _____

Contractor: _____

Contractors City License #: _____ **Phone:** _____

Contractor E-mail Address: _____

Sub Contractors:

Electrical:

W.R. City License #

Plumbing:

W.R. City License #

Mechanical:

W.R. City License #

Other City Licensed Sub:

City License #

Other City Licensed Sub:

City License #

Complete all information on BOTH sides of this form

COMMERCIAL

RESIDENTIAL

Description of work: (Check all that apply)

- NEW COMMERCIAL STRUCTURE
- NEW RESIDENTIAL STRUCTURE
- COMMERCIAL ADDITION
- RESIDENTIAL ADDITION
- COMMERCIAL ACCESSORY STRUCTURE (Garage, shed, deck, etc.)
- RESIDENTIAL ACCESSORY STRUCTURE (Garage, shed, deck, etc.)
- MECHANICAL SYSTEM/APPLIANCE REPAIR or REPLACEMENT
- PLUMBING SYSTEM/APPLIANCE REPAIR or REPLACEMENT
- ELECTRICAL SYSTEM/APPLIANCE REPAIR or REPLACEMENT
- OTHER (Describe) _____
- ELECTRICAL SERVICE UPGRADE
- COMMERCIAL ROOFING
- RESIDENTIAL ROOFING
- WINDOW REPLACEMENT

(For ALL projects, please provide a **detailed** description of work to be performed, including current use of areas, proposed uses, square footage, existing condition and proposed new condition, appliance size and efficiency, type and amount of materials to be used, etc.)

Sq. Ft./LF _____ Btu's _____ Gallons _____
 Amps _____ Squares _____ Other _____

Project Value: (Contract value or the cost of **all** materials and labor included in the **entire** project)

\$ _____

OWNER/CONTRACTOR SIGNATURE OF UNDERSTANDING AND AGREEMENT

I hereby certify that the setback distances proposed by this permit application are accurate and do not violate applicable ordinances, rules or regulations of the City of Wheat Ridge or covenants, easements or restrictions of record; that all measurements shown and allegations made are accurate; that I have read and agree to abide by all conditions printed on this application and that I assume full responsibility for compliance with applicable City of Wheat Ridge codes and ordinances for work under any permit issued based on this application; that I am the legal owner or have been authorized by the legal owner of the property to perform the described work and am also authorized by the legal owner of any entity included on this application to list that entity on this application.

CIRCLE ONE: (OWNER) (CONTRACTOR) or (AUTHORIZED REPRESENTATIVE) of (OWNER) (CONTRACTOR)

PRINT NAME: _____ **SIGNATURE:** _____ **DATE:** _____

DEPARTMENT USE ONLY

ZONING COMMENTS:
Reviewer: _____

OCCUPANCY CLASSIFICATION: _____

TYPE OF CONSTRUCTION: _____

SPRINKLERED: _____

BUILDING DEPARTMENT COMMENTS:
Reviewer: _____

OCCUPANT LOAD: _____

PUBLIC WORKS COMMENTS:
Reviewer: _____

PROOF OF SUBMISSION FORMS

- Fire Department Received Not Required
- Water District Received Not Required
- Sanitation District Received Not Required

Building Division Valuation: \$ _____



Building Guide

Colorado Chapter of the International Code Council

Single Family Residential Uncovered Decks and Porches

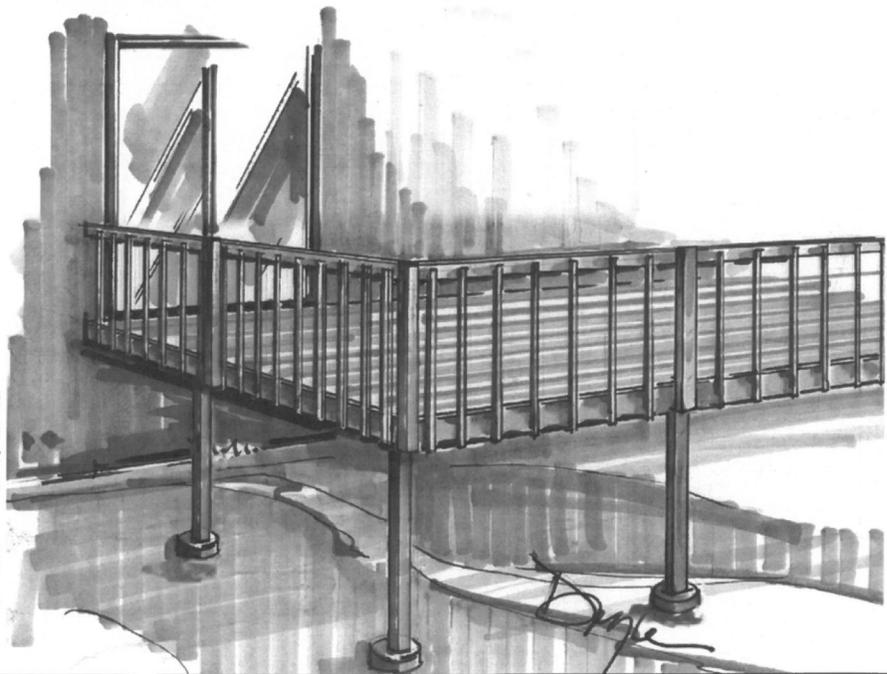
How to Use this Guide

Provide two sets of plans, drawn to scale and complete the following (*hint: use graph paper with 1/4" squares. Example: 1/4" = 1'*): Check with your jurisdiction for additional requirements.

- 1. Complete this Building Guide** by filling in the blanks on page two, and indicating which construction details will be used.
- 2. Provide 2 Plot Plans** (site plan) showing dimensions of your project or addition and its relationship to existing buildings or structures on the property and the distance to existing property lines drawn to scale. See page 3.
- 3. Fill out a building permit application.**

The majority of permit applications are processed with little delay. The submitted documents will help determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.

The Colorado Chapter of the International Code Council is a professional organization seeking to promote the public health, safety and welfare to building construction. We appreciate your feedback and suggestions. To obtain a master copy of this building guide, please write to the Colorado Chapter of the International Code Council, P.O. Box 961, Arvada, CO 80001.
<http://www.coloradochaptericc.org>



This handout was developed by the Colorado Chapter of the International Code Council as a basic plan submittal under the 2012 International Residential Code. It is not intended to cover all circumstances. Check with your Department of Building Safety for additional requirements.

Single Family Residential Uncovered Decks and Porches

Directions

1. Fill in the blanks. Please print legibly.
2. Indicate in the check box which detail from page 4 will be used.

Address: _____

Size and Spacing of Lags
(example: Two 1/2"x 4 1/2" lags @ 16" O.C.)

Type of decking _____ x _____ - _____
(example: 1 x 4 or 2 x 6 - Trex)

Deck Section

Existing bldg.

Electrical outlet required on decks

Approved flashing required

36" high guard with balusters spaced so that a 4 inch diameter sphere cannot pass through

Beam splices to occur over posts with 1 1/2" bearing

Attach decking with non corrosive fasteners

2x _____ joists spaced _____" apart
(example: 2 x 10" spaced 24" apart)

() _____ x _____ beam
(example: (2) 2 x 10 - see detail B)

2x _____ rim joist
(example: 2 x 10 - see Alternate B1 & B2)

_____ x _____ posts spaced _____ apart
(example: 4 x 4 posts spaced 8' apart)

Span _____
(example: 13' - 4")

Type of siding *(existing)* _____

- Check one
- Detail B
 - Alternate Detail B1
 - Alternate Detail B2
- (see page 4)*

Detail A
(see page 3)

Conditions such as attachment to cantilevers or veneers may require Engineer's approval

Span

6 Ft. 8 in. min. (see note)

Detail C
(see page 4)

Finished grade

Note: Emergency escape windows are allowed to be installed under decks and porches provided the location of the deck allows the emergency escape window to be fully opened and provides a path not less than 36" in height to a yard or court. 6'8" required for walk out basements or patios.

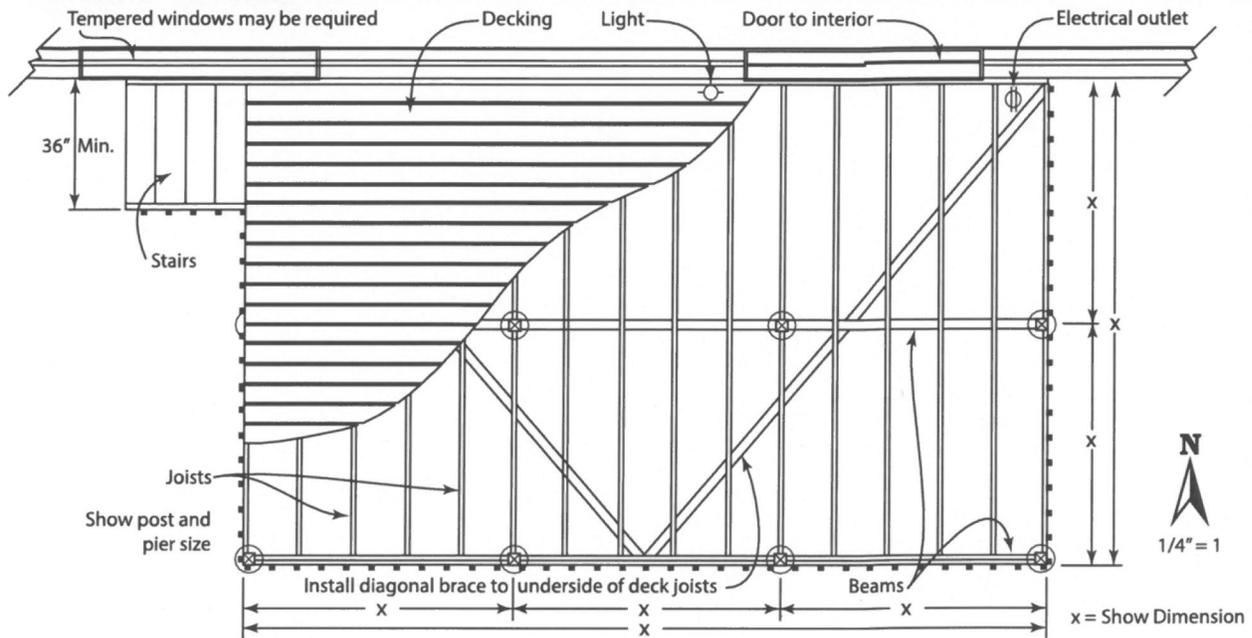
36 Inches Min.

Note: A plot plan (plan view) showing the dimensions of your project or additions and its relationships to existing buildings or structures on the property must be included. In addition to project dimensions, your plot plan must also show other details such as post locations and spacing, joist and beam spans, and any other pertinent information not shown on the section drawing.

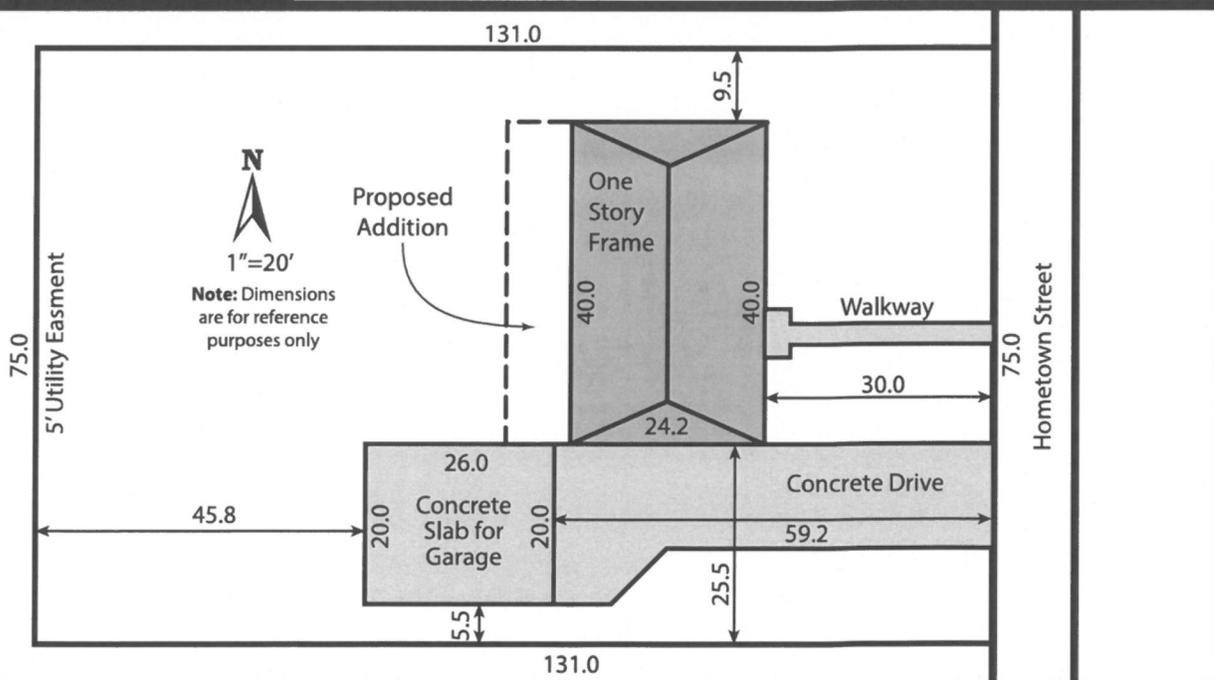
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Single Family Residential Uncovered Decks and Porches

Plan View Example



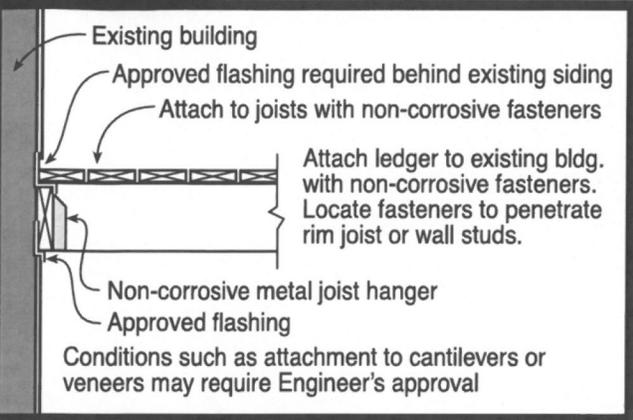
Site Plan Example



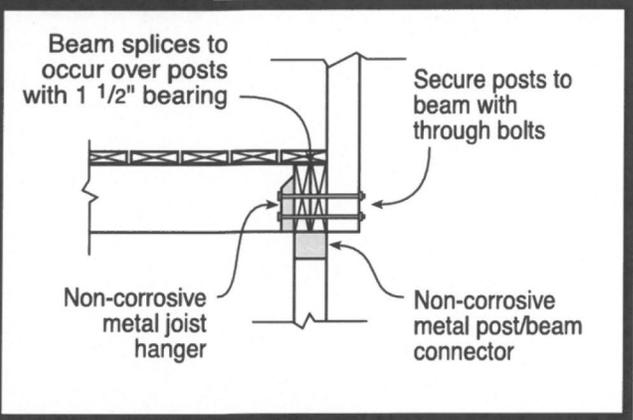
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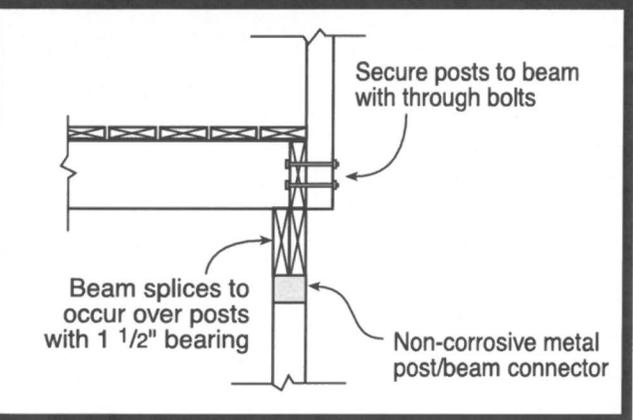
Detail A



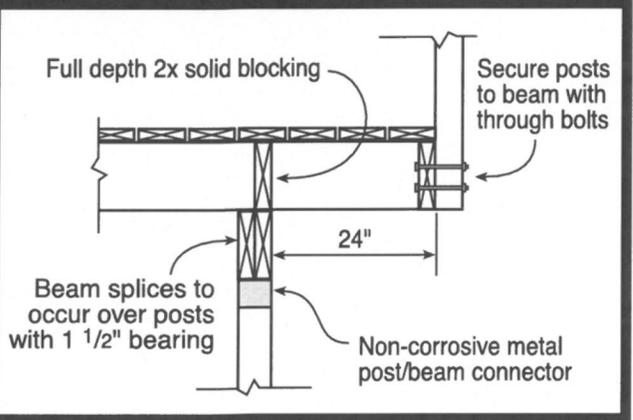
Detail B



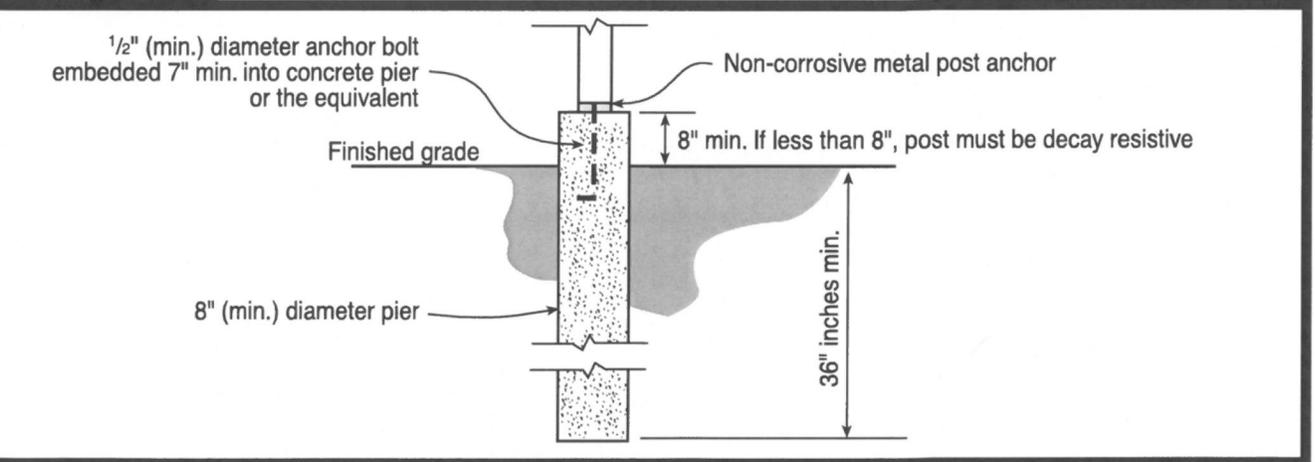
Alternate Detail B1



Alternate Detail B2



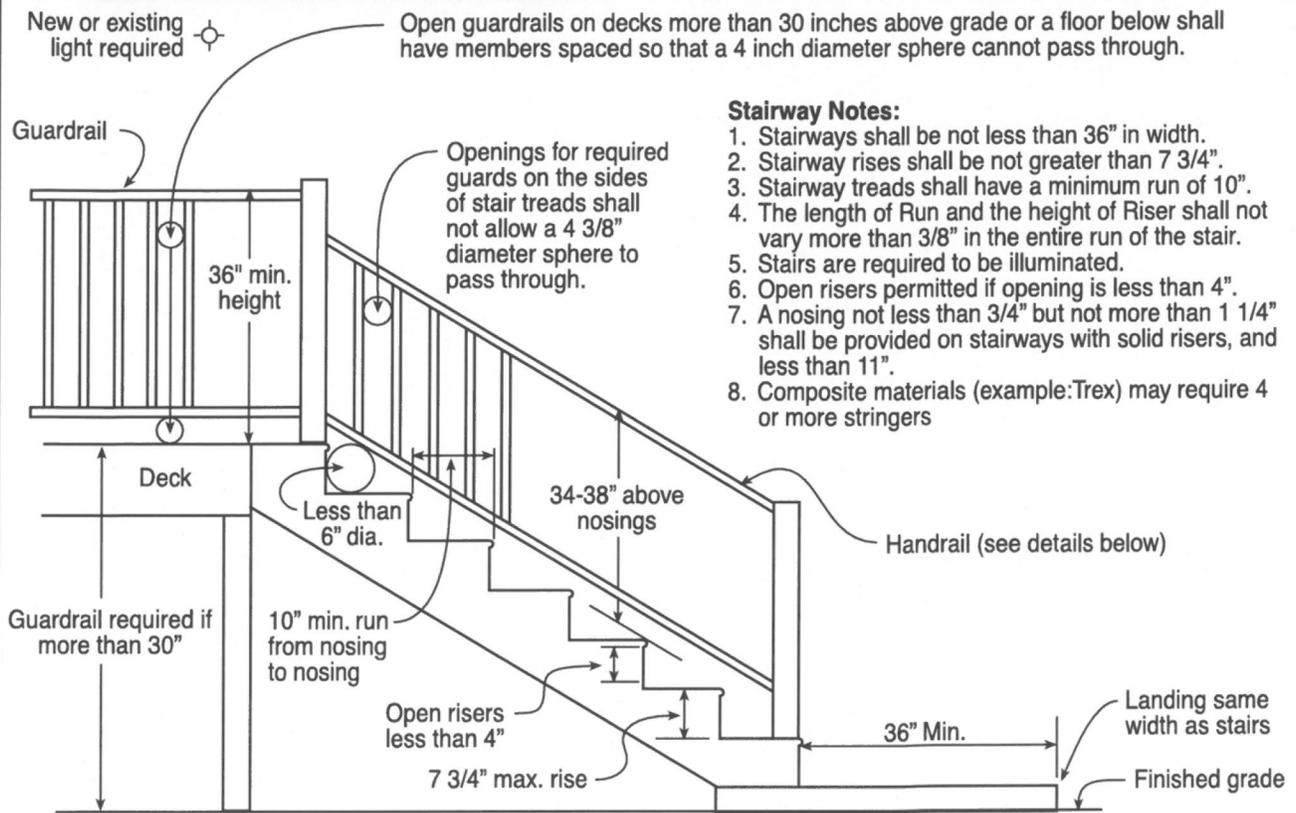
Detail C



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Single Family Residential Uncovered Decks and Porches

Stair & Handrail Specifications



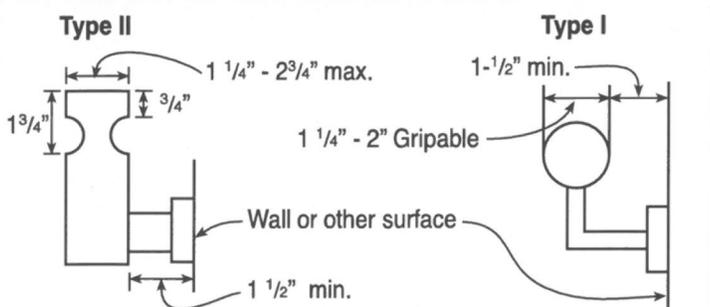
Stairway Notes:

1. Stairways shall be not less than 36" in width.
2. Stairway rises shall be not greater than 7 3/4".
3. Stairway treads shall have a minimum run of 10".
4. The length of Run and the height of Riser shall not vary more than 3/8" in the entire run of the stair.
5. Stairs are required to be illuminated.
6. Open risers permitted if opening is less than 4".
7. A nosing not less than 3/4" but not more than 1 1/4" shall be provided on stairways with solid risers, and less than 11".
8. Composite materials (example:Trex) may require 4 or more stringers

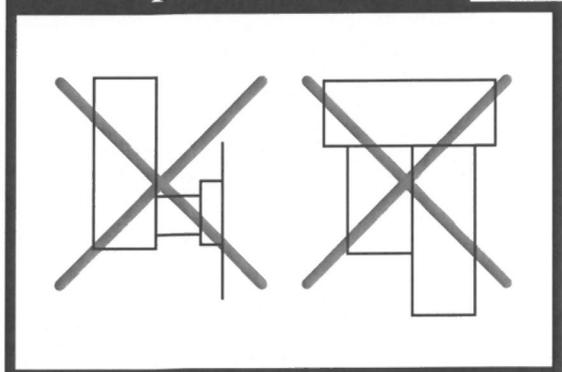
Handrail Notes:

1. Handrails shall be continuous on at least one side of stairs with 4 or more risers.
2. Top of the handrails shall be placed not less than 34 inches nor more than 38 inches above stair nosings.
3. The handgrip portion of handrails shall be not less than 1-1/4 inches nor more than 2 1/4 inches in cross section for non circular handrails.
4. Handrails shall be placed not less than 1-1/2 inches from any wall or other surface.
5. Handrails to be returned to wall, post or safety terminal (per 311.7.8.2 IRC)

Acceptable Handrail Details



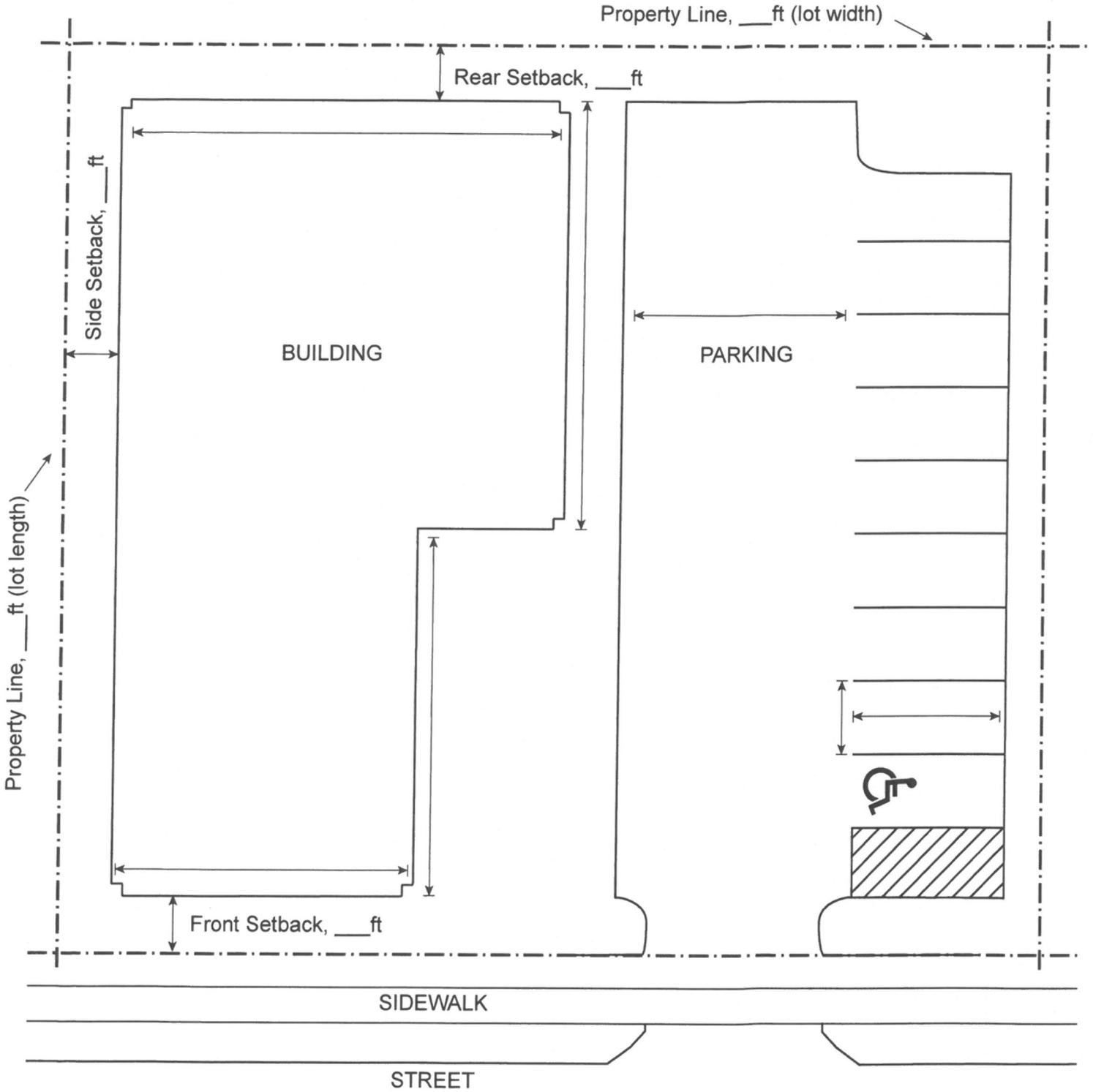
Unacceptable Handrails



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Sample Site Plan

Please note that additional information is often required for a commercial site plan. To speak with a planner about a specific project and site plan requirements, contact the Community Development Department at 303-235-2846.



Sample Project Information

Lot Area: ___ sq ft
 Landscape Area: ___ sq ft
 Existing Building: ___ sq ft

Proposed Building: ___ sq ft
 Parking Spaces: ___ spaces



Scale:
 1" = ___ ft