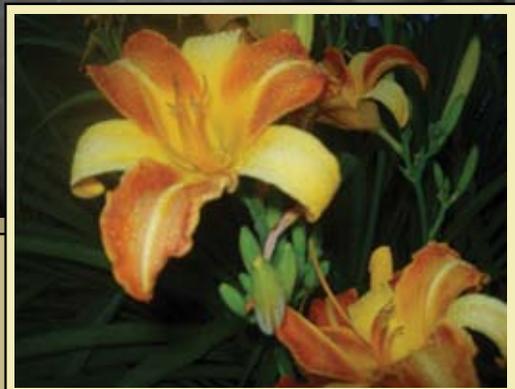
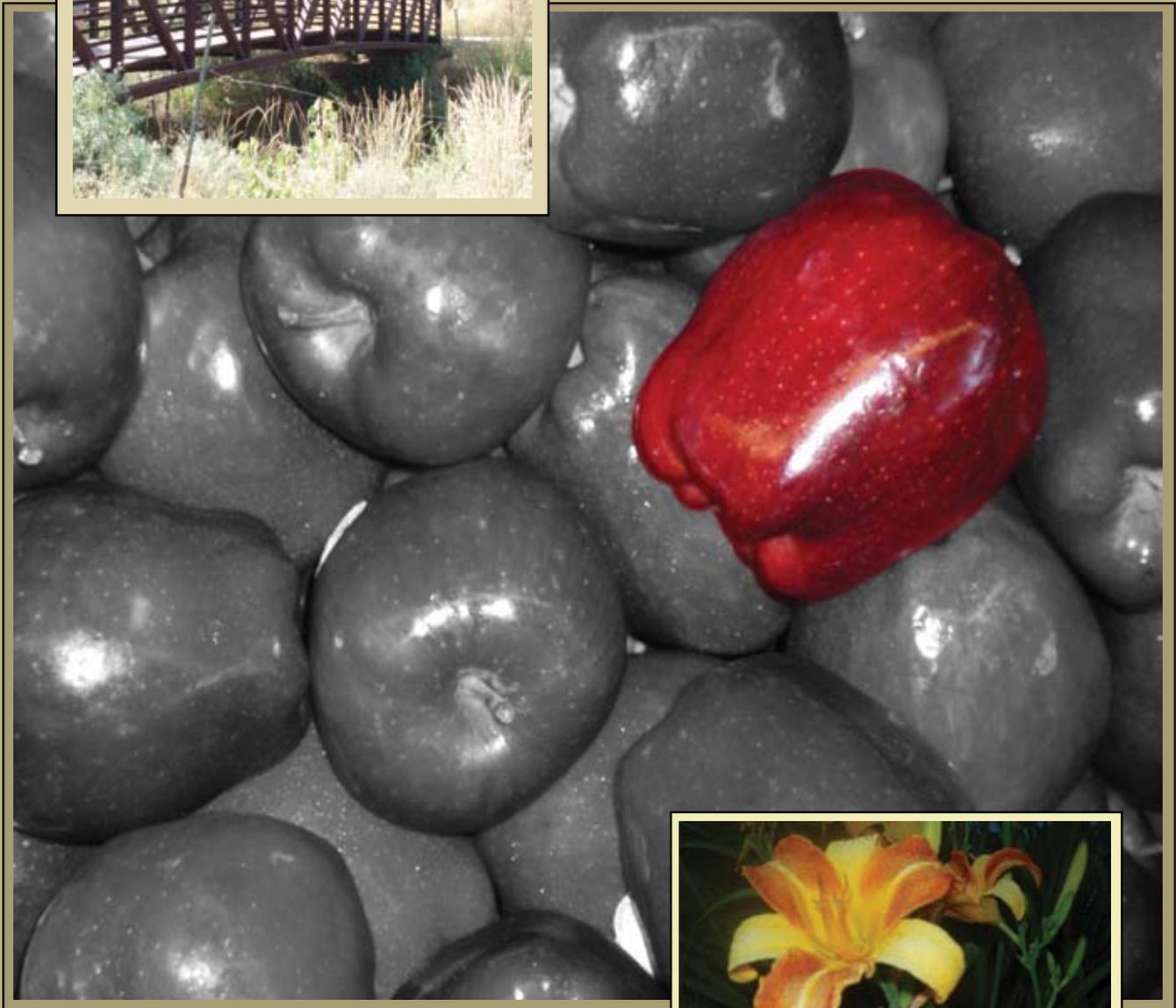


# *Fruitdale Subarea Plan*



*City of Wheat Ridge*  
●  
*Adopted 13 August 2007*

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ACKNOWLEDGEMENTS

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The City of Wheat Ridge would like to thank property owners and residents who participated in planning meetings for development of the Fruitdale Sub-area Plan.



## PLAN SUMMARY

This Plan sets forth a vision for the future of the Fruitdale Sub-area. It represents the work of citizens, City staff and elected officials. The Goals and Policies and the Future Land Use Concept provide guidance for decisions about future develop and redevelop of the area. The Plan attempts to focus on the unique aspects of the Fruitdale Sub-area and makes recommendations to maintain and improve the unique characteristics of the area.

W. 44th Avenue in the Fruitdale Sub-area has the potential to become a unique corridor in the City of Wheat Ridge. It is essentially an underdeveloped commercial corridor with reasonably priced real estate. There are currently several vacant buildings and parcels of land for sale or lease. The area is tucked into a protected corner of the City nestled along the Clear Creek Open Space and has retained elements of the City's historical, rural and agricultural heritage. The Plan recommends embracing this agricultural heritage by encouraging a gardening theme for businesses along the corridor.

Unfortunately, along the corridor and in surrounding neighborhoods, many properties are showing signs of lack of maintenance and investment. While there are established single family areas, there are a large number of multi-family rental units as indicated by the 63% rental rate in the area. In addition, traffic has increased on W. 44th Avenue creating traffic flow and pedestrian safety problems. The Sub-area is the home of Prospect Park, the largest of the City Parks, and also the unique Historical Park. Both of the facilities are great assets to the area but are under utilized for City events and programs.

The primary concepts in the Plan are:

- Encourage and support the revitalization and redevelopment of properties along W. 44th Avenue
- Encourage larger commercial, possibly gardening oriented, uses on the west end of the corridor with a mixed-use neighborhood village at the intersection of W. 44th Avenue and Parfet Street providing more neighborhood serving uses.
- Work with property owners to improve and maintain the condition of properties in the area through commercial and residential rehabilitation programs. Also promote home ownership programs in the area.
- Maintain and protect the established single family character, as well as, agricultural character, of portions of the area. When currently vacant properties on W. 44th Avenue do develop, encourage single family development consistent with the existing single family neighborhoods.
- Given the large number of existing multi-family units, do not encourage more medium density residential development.
- Address traffic flow and pedestrian safety issues by investigating traffic improvements and the addition of safer pedestrian crossings on W. 44th Avenue
- Work to promote Prospect Park and the Historical Park as community assets.



## INTRODUCTION

### ***PURPOSE***

The purpose of the Fruitdale Sub-area Plan is to provide guidance and recommendations for future decision making in the Fruitdale area. Sub-area plans look at specific geographic areas of the City and focus on the unique characteristics of that particular area. The goal of the Plan is to preserve the positive aspects of the sub-area and ensure that future changes are beneficial both to the sub-area and the City as a whole. Sub-area plans are an opportunity to be proactive rather than reactive in identifying issues and in creating a direction for future development and redevelopment. The plans also provide an opportunity to identify needed public improvements, and can offer guidance for future expenditures as well as needed public services and programs for the area.

The Fruitdale Sub-area Plan is an advisory policy document for use by City staff, elected officials and those interested in future development in the Fruitdale Sub-area. It is recommended the Fruitdale Sub-area Plan be reviewed and updated, if needed, in five years. Sub-area plans are meant to be flexible documents and to be revised to address changing circumstances in the sub-area.

### ***PLANNING PROCESS***

To elicit public participation in the planning process, several methods of community outreach were utilized. Steps taken to obtain input from residents and property owners of the sub-area, and provide information about the planning process, included a survey, monthly newsletters and monthly meetings. In addition, information about the Plan was available on the City's website, Channel 8, the City of Wheat Ridge Connections, and *The Transcript*.

### **Survey**

In the fall of 2006, a survey was mailed to residents and property owners in the sub-area. The purpose of the survey was to find out what people see as the strengths, weaknesses and to identify areas in need of change. Information from the survey helped to define the goals contained in the Plan. The response rate for the survey was 10%.

The survey results showed the strengths of the area being the central location, the parks and open space, and the large lots and rural feel of the area. Weaknesses included neglected properties, traffic and speeding issues, and the large number of multi-family and rental properties. Desired changes identified through the survey included cleaning up properties, needed traffic improvements and the desire for more diversity in commercial and business land uses.

### **Newsletters**

Monthly newsletters were sent to residents to notify them of upcoming meeting dates and to keep them informed of the planning process. The newsletters also served an educational purpose in providing information about projects and programs related to the Fruitdale sub-area.

## **Meetings**

Monthly meetings were held starting in January 2007. At these meetings, key issues and community assets were identified, existing conditions were mapped, and a Visual Preference Survey was done to obtain input from residents on building design and streetscape design preferences. Also, a land use mapping exercise was done to identify the types and locations of potential future land uses in the sub-area.

## ***RELATIONSHIP TO OTHER CITY PLANS***

### **City of Wheat Ridge Comprehensive Plan**

The City of Wheat Ridge Comprehensive Plan was adopted in January 2000. The Comprehensive Plan is a broad policy document providing direction for the entire City. The Fruitdale Sub-area Plan looks in more detail at the sub-area than the Comprehensive Plan. The Fruitdale Sub-area Plan shall amend the City of Wheat Ridge Comprehensive Plan for the portion of the City covered by the sub-area plan. Where the Comprehensive Plan conflicts with the Fruitdale Sub-area Plan, the Fruitdale Sub-area Plan shall supercede the Comprehensive Plan.

### **Neighborhood Revitalization Strategy (NRS)**

The NRS was approved (not adopted) by the Wheat Ridge City in July 2005. The intent of the NRS was to take a comprehensive look at the current condition of the City and identify ways to address issues being faced by the community to restore the City to a community of choice for homeowners and businesses. The study was a broad based effort aimed at improving the City's image, attracting quality businesses and housing and creating standards that will enhance the City's existing neighborhoods. One of the recommendations of the NRS was the creation of sub-area plans for various locations to identify and address the unique challenges facing specific areas of the City. The Fruitdale sub-area (referred to in the NRS as the Orchard District) was one of the priority areas for development of a sub-area plan. The W. 44th Avenue corridor was chosen because it is an under-developed commercial corridor with still reasonable real estate prices that could have great potential given its location in the City adjacent to open space and fact it has retained elements of the City's agricultural and rural heritage. Development of the Fruitdale Sub-area Plan is consistent with the recommendations of the NRS.

### **Wheat Ridge Parks and Recreation Master Plan**

The Fruitdale Sub-area Plan is consistent with the recommendations found in the 2006 Parks and Recreation Master Plan for this area of the City.



## SUB-AREA PROFILE

The Fruitdale sub-area is bounded by I-70 on the north, Lee Street on the east, Clear Creek to the south and just west of Tabor Street to the west. The boundaries were not taken to Kipling Street and Youngfield Street because it is anticipated separate sub-area plans would be prepared for those areas. In addition, the area west of Tabor Street to Youngfield Street is a City urban renewal area. A sub-area location map can be found on the next page.

### *HISTORY*

The Fruitdale sub-area is the site of several significant historical structures. The area was first homesteaded in the mid 1800's and quickly became an agricultural center. The largest early tract of land belonged to James Baugh located on the northeast corner of W. 44th Avenue and Robb Street. Baugh farmed the land for several years and built the historic home on the corner now known as the Baugh House. The original structure was a log cabin built in 1860 which some believe to be one of the oldest structures still standing in Colorado. The log cabin was enclosed in the early 1900's by the current two-story Victorian wooden frame structure. The house and property are now owned by the City of Wheat Ridge. Working with the Wheat Ridge Historical Society, the City has applied for and received funds from the Colorado State Historic Society for restoration of the house. The house has undergone a restoration process which attempts to restore the building to its original condition. Once the house is complete, it would be considered of museum quality and would meet standards for designation by the National Register of Historic Places.



*Historic Baugh House at W. 44th Avenue and Robb Street*

The Wheat Ridge Historical Park is located at 4610 Robb Street just north of the Baugh House. The Park is a collection of four buildings assembled to tell the story of how the community began in the mid 1880's by a handful of farmers. One of the buildings is the Sod House which was built in the early 1860's. The House was saved in the early 1970's by the members of the Wheat Ridge Historical Society. It became the third structure in Jefferson County to be entered on the National Register of Historic Places. The Sod House has been renovated as a museum to preserve the agricultural and pioneer heritage of the area. The Wheat Ridge Historical Society office is located at the Historical Park.

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Also at the Historical Park is the Stevens-Coulahan Cabin. It was originally located near W. 44th Avenue and Teller Street on what was the first registered homestead in the state of Colorado. The cabin was donated to the Wheat Ridge Recreation District in 1959 and it was later moved to the Historical Park in order to preserve the building and add to the theme of the Historic Park. The Historic Park also contains Wheat Ridge's first post office. It was moved from W. 38th Avenue and High Court and now houses the Wheat Ridge Historical Society's collection of pictures, historic documents and research library.

The original Fruitdale School, located at 10801 W. 44th Avenue was built in 1884 as an elementary school. In 1926 the school was destroyed by a fire, and was rebuilt in 1927. The building was designed by noted architect Temple Buell. Additions were built on the east and west sides of the original structure in 1953 and 1972. Fruitdale was originally closed as an elementary school in 1978. From 1978 to 1989, the school was used as the Jefferson County Schools Adult Education Center. It began operating as a preschool in 1990.

A new building for the Fruitdale Preschool is being built behind the existing school building and is scheduled to be complete in 2007. As of the summer of 2007, the Wheat Ridge Historical Society is interested in gaining possession of the original school building and finding a new use for it.



*Historical Park at 4610 Robb St.*



*Historic Fruitdale School on West 44th Avenue*

## DEMOGRAPHICS

Based on 2000 U.S. Census data, the population of the sub-area was approximately 2,608. There were a total of 1,237 housing units, 1,195 which were occupied. Of those 1,195 units, 448 were owner occupied and 747 were renter occupied. This is a 63% rental rate for the sub-area as compared to 47% for the City of Wheat Ridge as a whole. The median home price in the Fruitdale area is \$152,400 compared to \$167,800 for the City. Median family income in the sub-area was \$36,000 as opposed to \$39,000 for the City.

Overall, this data indicates a much higher rate of renter occupied units than found in other areas of the City. In addition, the median home value and median family income is lower as compared to the City as a whole. This information supports the need for taking proactive measures to increase homeownership in the sub-area as outlined in the Goals and Policies. In addition, the lower median home value found in the sub-area may be indicative of the need for property owners to rehabilitate and reinvest in their properties.

## EXISTING CONDITIONS

The sub-area consists of a mix of land uses. On W. 44th Avenue, there are primarily commercial and office uses with some single family homes. Land uses along W. 44th Avenue include Heine's Market, the Fruitdale Preschool, the Montessori School, a Qwest building, Clear Creek Church, a gymnastics center and apartments and townhomes. There are also more intense commercial uses along the corridor such as auto repair shops and a concrete contractor. Most of the single family homes fronting on W. 44th Avenue were built decades ago before W. 44th Avenue became a major corridor.

North of W. 44th Avenue and east of Parfet Street, single family homes predominant. West of Parfet Street, there is a mix of duplexes, apartments, single family homes and vacant/agricultural land. Prospect Park is predominate on the south side of W. 44th Avenue. Other land uses south of W. 44th Avenue include a mix of duplexes, apartments and single family homes with some commercial uses extending close to Clear Creek.



*Vacant property along W. 44th Avenue*

Several buildings and properties on W. 44th Avenue are showing signs of deterioration. There are vacant buildings not being maintained and a general of lack of maintenance on many occupied properties. In addition, many residential units show signs of neglect and disrepair and are in need of maintenance and reinvestment. City code violations such as junk, trash and inoperable vehicles can also be found on many properties.

A map of the existing land uses in the Fruitdale sub-area can be found on page 11.





*Example of properties in the Sub-area*



*Example of properties in the Sub-area*

## **ZONING**

When the City incorporated in 1969, it adopted the zoning that had been put in place on land by Jefferson County in the 1950s. The zoning is fairly consistent with the existing uses. Most of the area north of W. 44th Avenue is zoned Residential-Two (R-2). The intent of this zone district is to provide for low to moderate density residential neighborhoods. The minimum single family lot size in the R-2 zone is 9,000 square feet for a single-family dwelling or 12,500 for a two-family dwelling. There are also large areas zoned Agricultural-One (A-1), one of those areas being Prospect Park south of W. 44th Avenue. There are also areas north of W. 44th Avenue zoned A-1. The purpose of the A-1 zone district is to provide for a residential estate living environment within a quasi-agricultural setting. The minimum lot size in A-1 is one acre.

Zoning on W. 44th Avenue is primarily a mixture of Commercial-One (C-1), R-2, and Residential -Three (R-3). The C-1 zone district provides for areas with a wide range of commercial land uses including office, general business, and retail sales and service establishments. The intent of the R-3 district is to provide for medium to high density residential. Medium density would accommodate 7 – 12 units per acre and high density would allow 13 – 20 units per acre.

The existing zoning map follows on page 15.

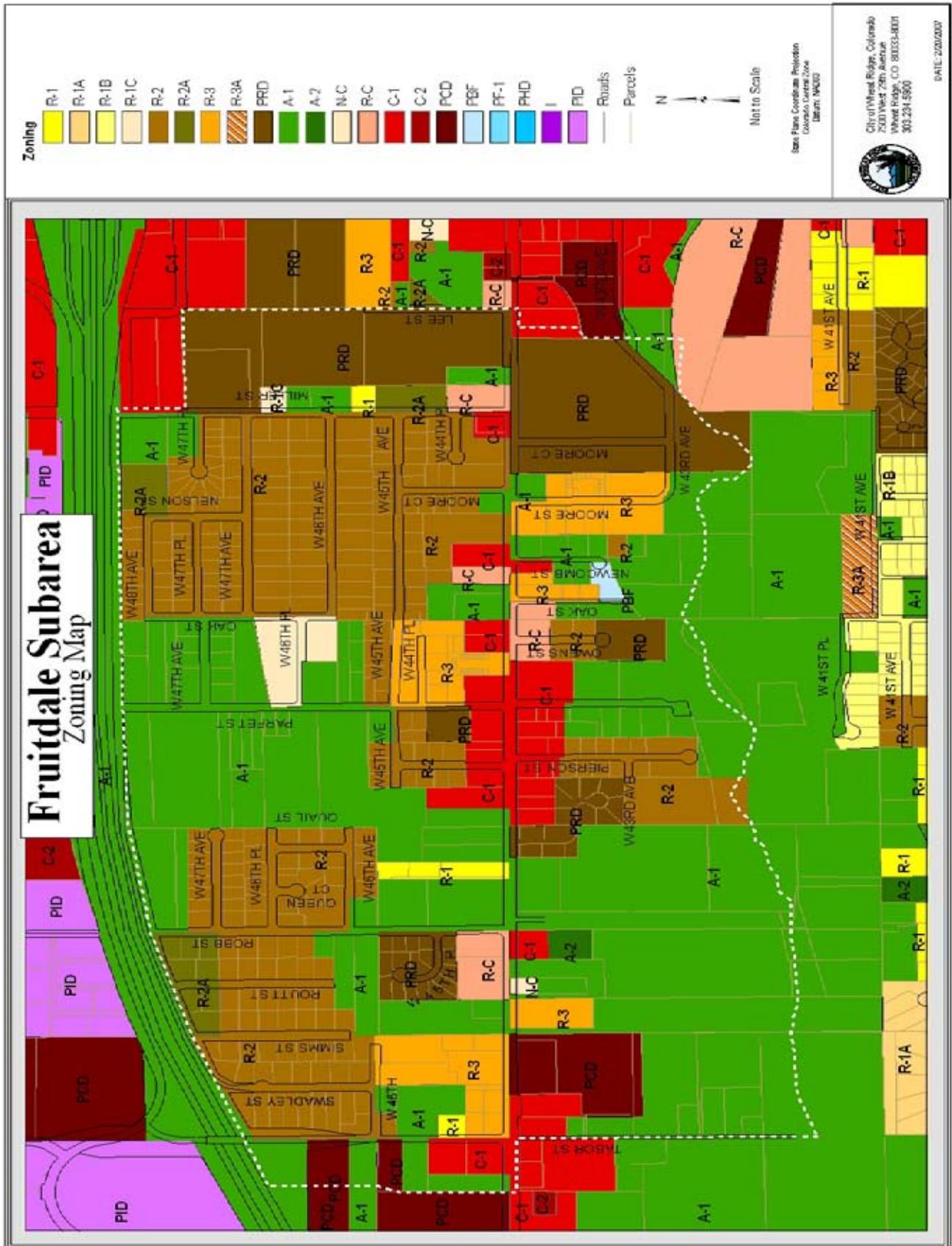
## **TRANSPORTATION**

W. 44th Avenue is a Minor Arterial carrying approximately 14,000 cars a day. The capacity for a Minor Arterial is 21,000 cars per day; W. 44th Avenue is well under capacity at this time. W. 44th Avenue is a major east-west corridor running from Denver west to Golden. With the development of the Cabela's project just west of the sub-area, there is the potential for increased traffic on W. 44th Avenue.

Traffic flow and safety issues include the large number of curb cuts along W. 44th Avenue which causes frequent turning movements that impede traffic flow due to the lack of a center turn lane. Congestion at the intersection of W. 44th Avenue and Tabor and Miller Sts., particularly at peak traffic hours, is also a concern. There is the need for improved pedestrian connections at W. 44th Avenue and Robb Street to connect Prospect Park to the Historic Park and at W. 44th Avenue and Miller Street near the Montessori School and Foothills Academy on Parfet Street. Concern was also expressed by area residents about parking and traffic around the Montessori School and Foothills Academy during drop off and pick up times. The City is currently exploring ways to address these issues.

The City provides road maintenance and routine repair services, including snow removal, sweeping, crack seal and similar maintenance activities. Repair of existing curb, gutter and sidewalk is accomplished through the City's 6-year Capital Investment Program (CIP). Needed reconstruction projects or major repairs are programmed in the CIP and are included in the City's annual budget on a priority basis as funds are available. Other than routine maintenance, no road improvements are scheduled in the sub-area in the current CIP.

Under the City's development code, developers are responsible for constructing roads, including curb, gutter and sidewalk, within and adjacent to new development. This infrastructure is dedicated to the City for maintenance after a warranty period.



City of Wheat Ridge, Colorado  
 7300 Inver 26th Avenue  
 Wheat Ridge, CO 80033-8001  
 303.234.5900

DATE: 2/20/2020

Existing Zoning Map for the Sub-area

## **COMMUNITY SERVICES AND FACILITIES**

The following is provided as background information regarding various government services and responsibilities in the Fruitdale sub-area. Services in the sub-area are provided by the City and special districts. The City provides police protection, storm water construction and maintenance, park and recreation and general governmental services for the sub-area. Water, sanitary sewer, and fire protection are provided by special districts.

### ***Special Districts***

#### **Water district**

Water is provided to the area by the Valley Water District. The District provides the infrastructure and water is delivered to the District by the Denver Water Department. The District must comply with the Denver Water Department's rules and regulations concerning service, installation and maintenance of water facilities. Developers are required to fund any water system improvements needed to serve proposed development.

#### **Sanitary Sewer**

Fruitdale Sanitation District provides sanitary sewer service to the sub-area. The District relies on the Metropolitan Denver Sewage Disposal District Number one for treatment, but maintains its own system of pipes within the district boundaries.

#### **Fire Protection**

The Arvada Fire Protection District serves the area. A substation is located just to the north of the sub-area on W. 52nd Avenue. Redevelopment projects that occur in the sub-area would need to conform to the District's current fire safety code.

### ***City Services***

#### **Police Protection**

The City of Wheat Ridge provides police protection to all residents. The City's police force is comprised of patrol, traffic and investigative officers, emergency specialists, community service officers and administrative staff.

#### **Stormwater drainage**

The City maintains the system of pipes and inlets that comprise the stormwater drainage system within the public rights-of-way within the sub-area. The sub-area is included in the Urban Drainage and Flood Control District (UDFCD.)

The Clear Creek Basin Plan, prepared by the UDFCD, identifies needed stormwater facilities in the Clear Creek Basin in which the sub-area is located. The recommendations of the Clear Creek Basin Plan need to be implemented to address the any drainage problems that might occur in the area during storm events.



*Project Park at W. 44th Avenue and Robb Street.*

## **Parks and Open Space**

The Fruitdale sub-area is home to Prospect Park, the largest park in the City of Wheat Ridge. The Park entrance is located on the south side of W. 44th Avenue at Robb Street. The Park is 39 acres and contains many amenities such as ball fields, tennis courts, picnic shelters and playgrounds. Prospect Park is located along the Wheat Ridge Greenbelt and Clear Creek trail, which offers many opportunities for natural resource based recreation.

Fruitdale Park is located at 4700 Miller Street north of W. 44th Avenue. The park is 12 acres in size and contains a basketball court, playground, and picnic shelter. The Park receives a high amount of use during the day from the neighboring Foothills Academy. It does, however, experience a high level of vandalism and vagrancy possibly due to its location near the Wheat Ridge motel zone and its somewhat isolated location. The Parks and Recreation Department is aware of this issue and is considering measures to address it.

The Historical Park is located at West 46th Avenue and Robb Street. It is one acre and does not contain any typical or traditional park amenities except picnic tables. The Park contains a variety of historical features and amenities relative to the City of Wheat Ridge. The Baugh House, another historical property owned by the City, is separated from the Historical Park by two private lots to the south.

## **Schools**

The Fruitdale Preschool is located at 10801 W. 44th Avenue. It is a Jefferson County Public School facility. The Montessori School is located at the northeast corner of W. 44th Avenue and Miller Street. It is a pre-kindergarten through 6th grade Jefferson County Public Charter School. Foothills Academy is located at the corner of Miller Street and the I-70 Frontage Road. The Academy is an independent, co-educational, K-12 day school.



*Fruitdale Park*



## FUTURE SUB-AREA CHARACTER

### **FUTURE LAND USE CONCEPT**

As much as we might like things to stay the same, change is inevitable. Changes to the Fruitdale Sub-area area occurring now. As you drive the area, you see for sale and for lease signs on many buildings. These properties could be sold and new uses introduced that may or may not be of benefit to the area. The Fruitdale Sub-area Plan and its recommendations provide a tool for guiding future land use decisions so that they do not negatively impact the area, and create a more compatible and coordinated mix of uses.

The purpose of identifying future land uses is to provide direction to the City, landowners and developers as properties develop or redevelop in the future. The Future Land Use Concept creates a vision for what the Fruitdale sub-area could look like in 5, 10, or 20 years. The intent is to be proactive rather than reactive in identifying what the public and the City would like to see in the future. The Future Land Use Concept is the basis for many of the Goals and Policies found in the Plan.

The NRS recommended developing the W. 44th Avenue as an “Orchard District” promoting gardening, landscaping, florists and similar businesses along the corridor in keeping with the agricultural heritage of the area. One of the Goals of the Plan is to explore the feasibility of this gardening theme along the corridor.

The Future Land Use Concept basically recommends commercial development for properties on W. 44th Avenue, focusing on redeveloping the existing single family homes fronting on 44th Avenue that could be considered no longer an appropriate land use for a major corridor. A mixed-use neighborhood center is proposed at the intersection of Parfet Street and W. 44th Avenue. Neighborhood serving retail and commercial businesses are encouraged at this location.

During planning meetings, current residents and property owners expressed their desire to maintain the agricultural land and uses that make the area unique. There was a strong message from residents for no more medium density residential development in the area. If vacant parcels of land not fronting on W. 44th Avenue are to be developed, such as the large vacant parcel west of Parfet Street, single family homes are recommended consistent with the density of the existing single family homes east of Parfet Street.

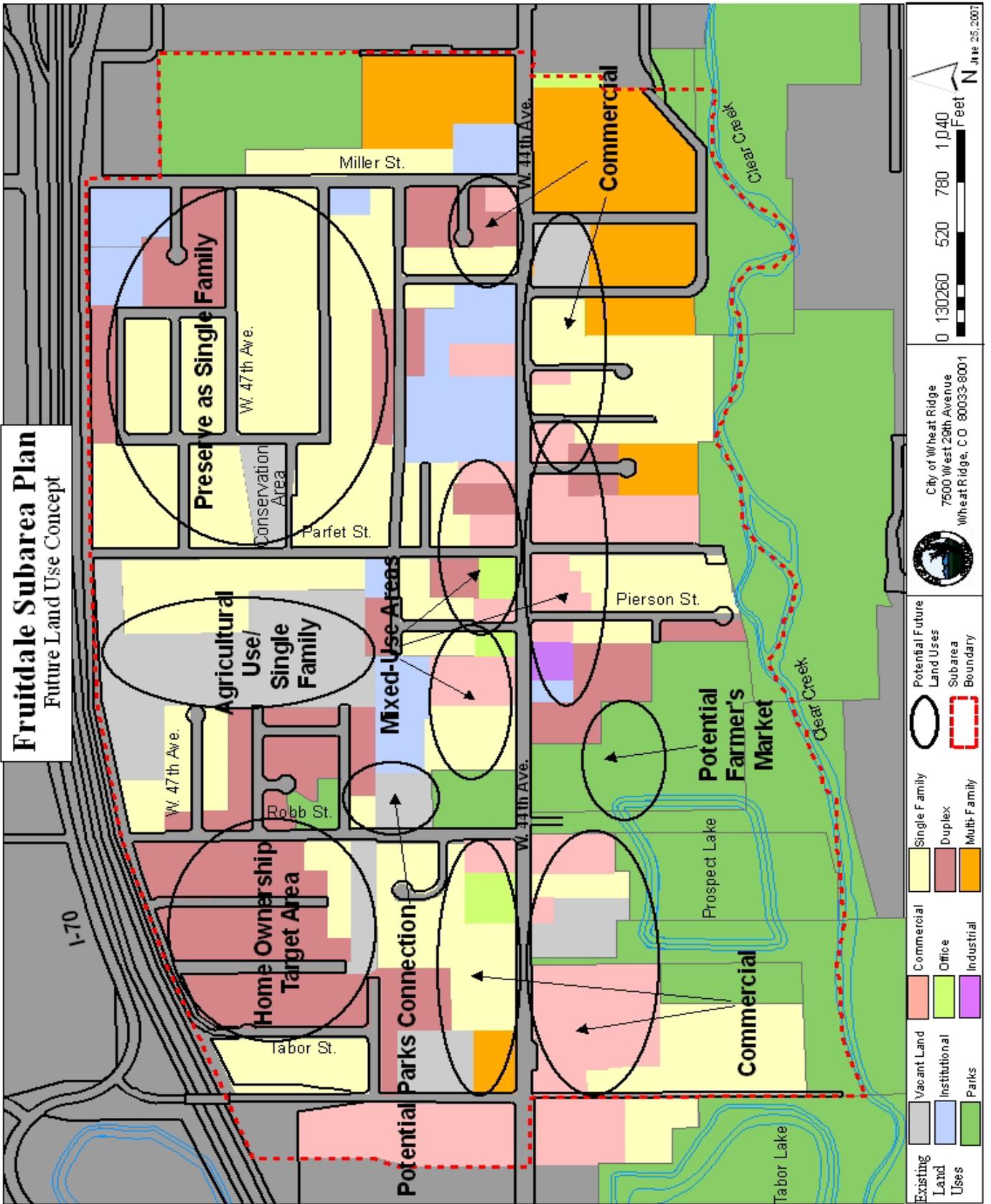
The Future Land Use Concept map can be found on page 20.

### **VISUAL PREFERENCE SURVEY**

At one of the Fruitdale planning meetings, those in attendance were asked to rank a series of photographs to obtain feedback on what people preferred in terms of building and streetscape design. Feedback was received on design for commercial, retail and mixed use buildings as well as streetscape elements such as landscaping, lighting and signage. Results of the Visual Preference Survey can be found in the Appendix.

## **W. 44TH AVENUE ROADWAY IMPROVEMENTS**

In an effort to address traffic flow and safety issues along W. 44th Avenue, the City has developed a Concept Street Plan for potential future improvements to W. 44th Avenue. The proposed improvements include adding a center turn lane to help with turning motions on and off of W. 44th Avenue. In addition, a five foot tree lawn would be added on both sides of the roadway. On the north side of W. 44th Avenue, there would be a five foot sidewalk with streetscape improvements such as benches and trash receptacles. On the south side of W. 44th Avenue, there would be a five foot sidewalk, also to include streetscape improvements, and a five foot bicycle/pedestrian path. Currently there are no funds available by the City to make the proposed improvements. The Concept Street Plan was developed to provide guidance as properties develop or redevelop as to what types of roadway design the City would like to see in the future. Drawings showing details of these improvements can be found in the Appendix.



Future Land Uses in the Fruitdale Sub-Area



## GOALS AND POLICIES

### LAND USE

1. *Support the redevelopment and revitalization of properties along W. 44th Avenue*
  - a. Develop programs to encourage landowners and business owners to reinvest in their properties to enhance the economic vitality of the corridor.
  - b. Encourage business and commercial property owner's participation in grant programs to improve signage, landscaping and facades.
  - c. Encourage mixed use developments around the intersections of W. 44th Avenue and Parfet Street to create a neighborhood center. This could include neighborhood type retail or commercial on the ground floor with residential or office on the upper floors.
  - d. Promote neighborhood serving businesses.
  - e. Encourage the rezoning and redevelopment of single family properties fronting on W. 44th Avenue to uses more appropriate for a minor arterial.
  - f. Incorporate streetscape features such as decorative lighting, benches, planters and bus shelters to create a consistent theme and street edge.
  - g. Support the Wheat Ridge Historical Society in their efforts regarding a viable reuse of the historic Fruitdale School.
  - h. Explore the establishment of a Business Improvement District.
  
2. *Explore developing W. 44th Avenue with a "gardening theme" encouraging gardening, farmer's markets, landscaping types of businesses.*
  - a. Undertake an inventory of existing properties/businesses on W. 44th Avenue.
  - b. Test the market, as well as public opinion regarding a gardening theme along the corridor.
  - c. Work with Wheat Ridge 2020 initially to explore the feasibility of holding a seasonal farmer's market at Prospect Park or other suitable location.
  
3. *Consider the creation and adoption of design standards/overlay zone for revitalizing and redeveloping properties in the corridor.*
  - a. Consider prohibiting certain uses along W. 44th Avenue not compatible with the desired character of the corridor.
  - b. Promote high quality building and site design in accordance with the City's Architectural and Site Design Manual.
  - c. Consider the results of the Fruitdale Sub-area Plan Visual Preference Survey when determining the desired building and streetscape design.
  - d. Develop any standards or overlay zone through a public process.
  
4. *Improve and maintain the quality and condition of properties in the area.*
  - a. Encourage the City's Community Services Unit to undertake more proactive code enforcement in the area.
  - b. Work with property owners and businesses to proactively address building and property maintenance.

- c. Utilize WR2020 programs to encourage residential property clean-up.
  - d. Encourage the use of housing rehabilitation programs available through the Jefferson County Housing Authority.
  - e. Work with WR2020 to target areas within the sub-area for housing rehabilitation programs.
5. *Maintain and protect the existing established single family character of much of the area.*
    - a. Encourage single family development on currently vacant tracts of land not fronting W. 44th Avenue
    - b. Limit the encroachment of commercial development into residential areas.
    - c. Encourage the buffering of single family areas from more intense uses.
  6. *Encourage home ownership to improve the stability of the area.*
    - a. Utilize first time home buyer assistance programs available through the local housing authorities.
    - b. Promote the conversion of exiting rental units to owner occupied units.
    - c. Encourage the Wheat Ridge Housing Authority to consider properties in the sub-area for purchase, rehabilitation, and conversion to owner occupied units.

## **TRANSPORTATION**

1. *Improve pedestrian connections in the area.*
  - a. Improve pedestrian crossings on W. 44th Avenue at Robb Street, Parfet Street and Miller Street
2. *Work to address speeding problems along W. 44th Avenue*
  - a. Undertake signal warrant studies for traffic lights at the intersections of W. 44th Avenue and Tabor Street, and W. 44th and Miller Street
  - b. Support the placement of speed boards along W. 44th Avenue west of Kipling Street
3. *Address traffic flow and safety issues in the area.*
  - a. Work with property owners and residents to identify options for improving traffic flow and safety, and pedestrian connections, such as potential roadway widening and a bicycle trail along W. 44th Avenue
  - b. Encourage the combining of curb cuts along W. 44th Avenue as properties develop and re-develop to improve traffic safety.
  - c. Work to resolve parking issues on Miller Street generated by school traffic.

## **PARKS AND RECREATION**

1. *Work with property owners on Robb Street between the Baugh House and the Historical Park to investigate ways to utilize this property for a community benefit consistent with the historic nature of the surrounding area.*
2. *Enhance/improve the entrance to Prospect Park to improve visibility to the Park.*
3. *Encourage completion of the renovation of the Baugh House.*
4. *Encourage use of Prospect Park and the Historic Park for City events and functions.*
5. *Explore the development of more active uses at Fruitdale Park.*
6. *Follow the recommendations of the City of Wheat Ridge Parks and Master Plan and the Bike and Pedestrian Master Plan regarding trail improvements along Clear Creek.*

# 6

## Fruitdale Sub-area Plan



### IMPLEMENTATION

Implementing a sub-area plan takes time and resources. Implementing the Goals and Policies outlined in the Plan is a long term endeavor. Funds are limited and the City must consider needs throughout the community when prioritizing where improvements will be made. The Fruitdale Sub-area Plan provides guidance to the City for improvements in the area. Having the Plan in place means needed projects in the area could receive a higher priority ranking as City projects are reviewed.

When implementing a sub-area plan, it is important to have some early successes, even if small, to help create momentum for further implementation of the Plan. The following would be the highest priority Goals and Policies when focusing initial efforts implementing the Fruitdale Sub-area Plan.

- Working with Wheat Ridge 2020 and the City's Economic Development Division, undertake an inventory of existing properties on W. 44th Avenue Test the market regarding a gardening theme along the corridor.
- Develop programs to encourage landowners and businesses to reinvest in their properties to enhance the economic vitality of the corridor and to make it more appealing to prospective businesses.
- Develop an overlay zone/design standards for W. 44th Avenue to consider prohibiting certain uses not compatible with the desired character of the area and to promote quality building and site design for new or redeveloping properties.
- Improve and maintain the quality and condition of properties in the area. Work with the Community Services Unit to undertake proactive code enforcement and develop programs to encourage residential property clean-up.
- Improve traffic flow and safety issues along W. 44th Avenue by undertaking warrant studies for traffic signals where appropriate. Improve pedestrian crossings on W. 44th Avenue at key locations such as Robb Street, Parfet Street and Miller Street
- Encourage the use of Prospect Park and the Historical Park for City events such as a seasonal farmer's market to bring more visibility to the area. Given the current condition of the Baugh House, encourage the completion of its renovation to make it a more appealing asset to the community.

***Visual Preference Survey Results***

Commercial/Retail .....25  
Medium Density Residential .....26  
Mixed Use .....27  
Sidewalks and Landscaping .....28  
Streetscape .....29  
Signage .....30  
Bus Stops .....31

***W. 44th Avenue Roadway Improvements*** .....32-33

VISUAL PREFERENCE SURVEY  
RESULTS LISTED IN ORDER OF PREFERENCE

COMMERCIAL/RETAIL



1



2



3

A

MEDIUM DENSITY RESIDENTIAL



1



2



3

MIXED-USE



1



2



3

# SIDEWALKS AND LANDSCAPING



1



2



3

STREETSCAPE



1



2



3

SIGNAGE



1



2



3

BUS STOPS



1



2



3



