

DUMPSTERS & SCREENING

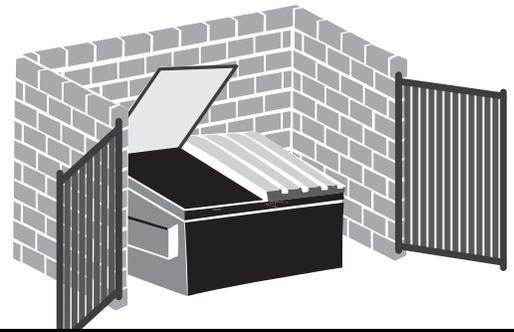
ZONING CODE REGULATIONS

The following information applies to all dumpsters and trash storage areas on private property in the City of Wheat Ridge. This information is a summary of section 26-614 of the municipal code and applies to all zone districts--commercial, industrial, residential, multi-family, and agricultural.

Building permits are required for all dumpster and trash enclosures.

Permit submittals should at a minimum include a site plan, elevation drawing, and a description of the enclosure materials or construction type. Masonry enclosures will require engineering.

Complete permit applications may qualify for rapid review. Over-the-counter plan review is offered on Thursday and Friday mornings from 8:00 to 11:30 a.m.



Required Screening

On private property **in all zone districts**, dumpsters and trash storage areas are required to be screened by a 6-foot tall enclosure to ensure that that the trash area is:

- Not visible from the street, and
- Not visible from any single- or two-family home within one hundred (100) feet.

A **building permit is required** for dumpster and trash enclosures.

Residential Dumpsters

Trash dumpsters are permitted for **single- and two-family homes in residential zone districts**. The screening, materials, and location requirements outlined in this handout apply in addition to the following conditions:

- May be no larger than 2 cubic yards
- May not be located in the front yard
- Must be screened from the street
- Must be screened from all adjacent properties
- Wood screening is acceptable

Materials

Permitted materials for trash enclosures include materials that provide solid, opaque screening, such as:

- Masonry (such as concrete block, brick, or stone)
- Chain link with privacy slats
- Cedar fencing

Temporary Dumpsters

Temporary construction dumpsters are permitted **at active construction sites** with the following conditions:

- Exempt from screening requirements
- Should be located on private property
- If there are NO possible locations on private property or in driveways, a temporary right-of-way permit may be considered. Dumpsters must be approved to be placed in the street and shall not create unsafe condition.

Location

In all zone districts, the location of a trash storage area must meet the following criteria:

- Must be located on a paved surface
- May not be located within 5 feet of windows, doors, or combustible walls or roof eaves
- May not displace required landscaping or parking
- May not create a sight, traffic, or safety obstruction
- In mixed use zone districts, trash enclosures may not be located between a building and the street.

The site plan provided with the building permit application should show the dumpster location in relation to property lines, streets, buildings, parking, etc.

For Questions

Please contact the Community Development Department with any questions. Staff can review your site plan and confirm that the proposed enclosure complies with applicable regulations.

If your trash area screening is part of a **major expansion or new construction** project, then design standards may apply; please contact a staff planner for details.

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